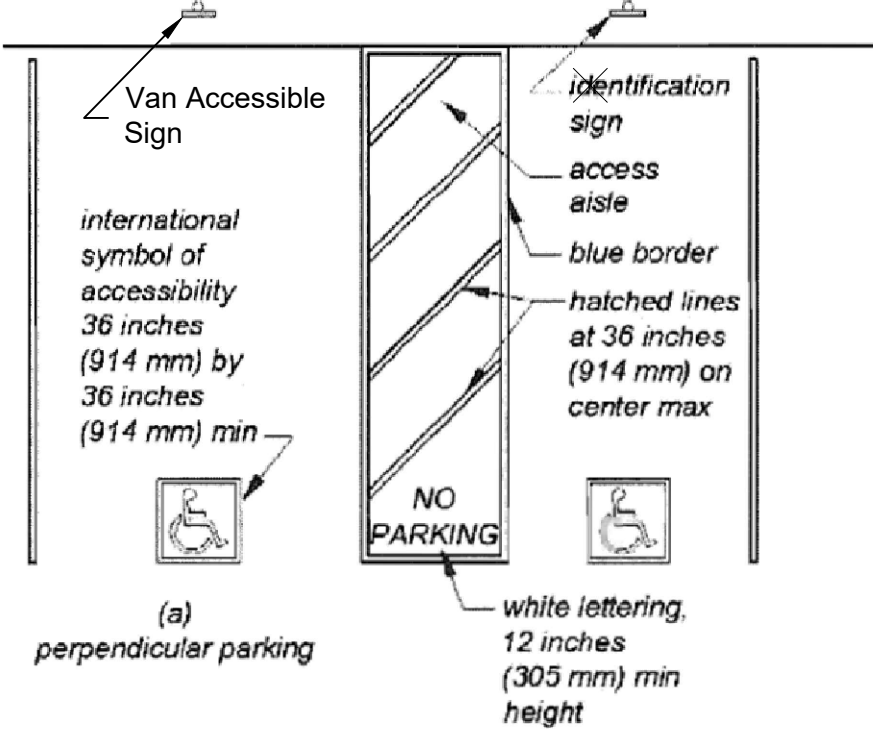


11B-502.2 Vehicle spaces. Car and van parking spaces shall be 216 inches (5486 mm) long minimum. Car parking spaces shall be 108 inches (2743 mm) wide minimum and van parking spaces shall be 144 inches (3658 mm) wide minimum; shall be marked to define the width, and shall have an adjacent access aisle complying with Section 11B-502.3.

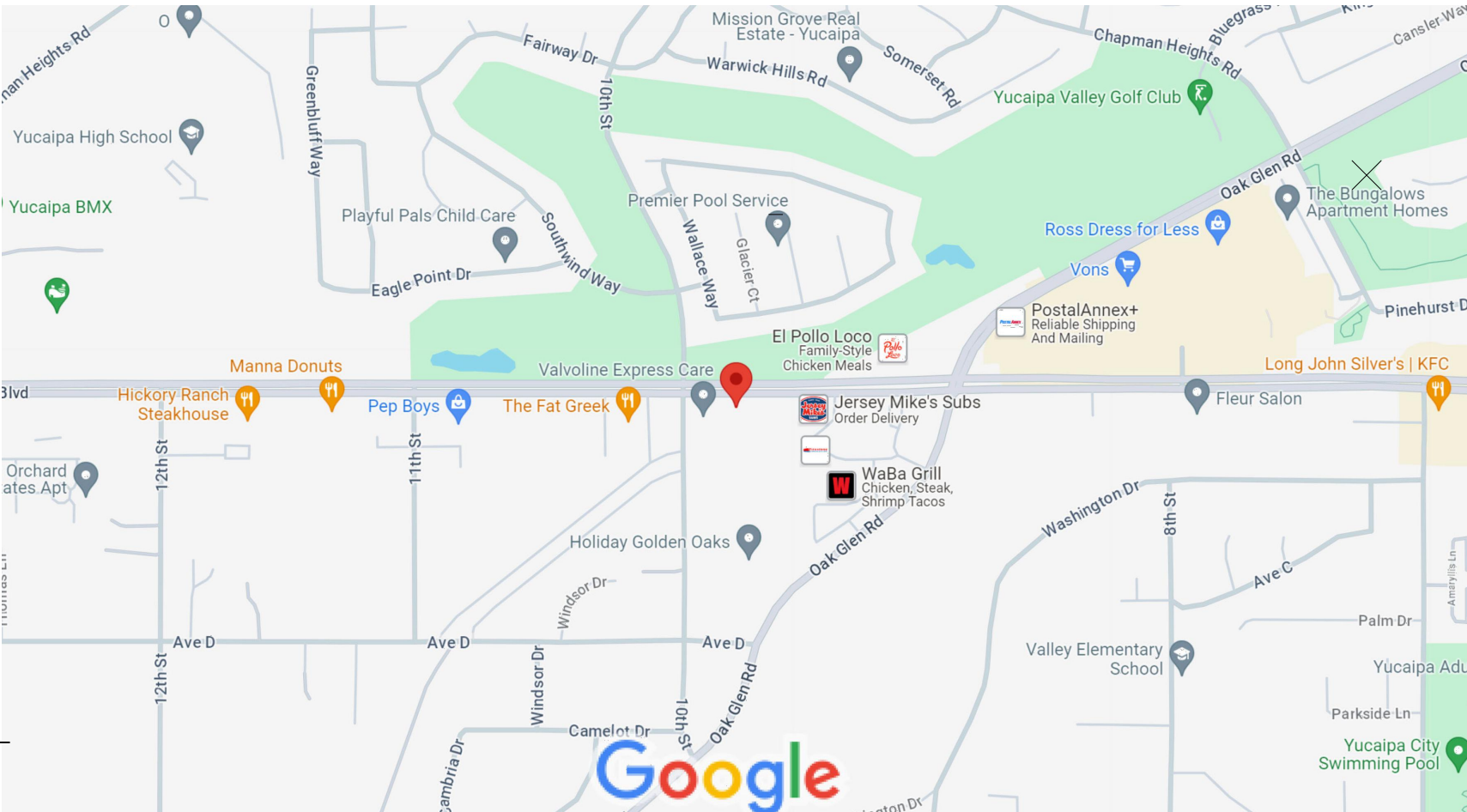
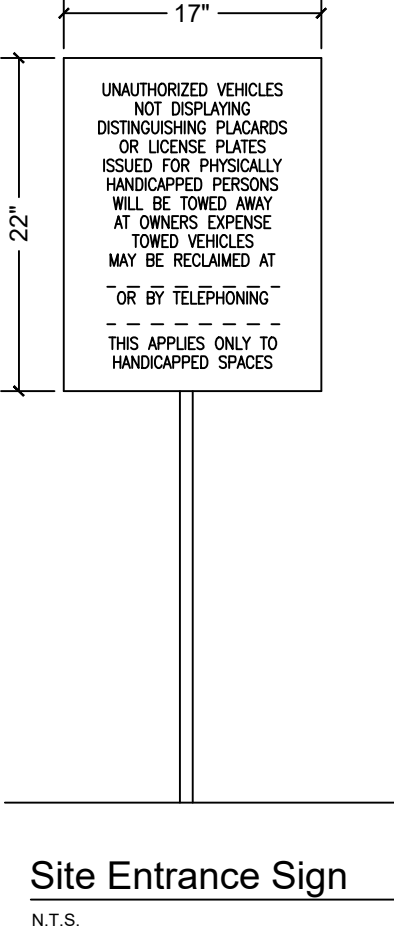
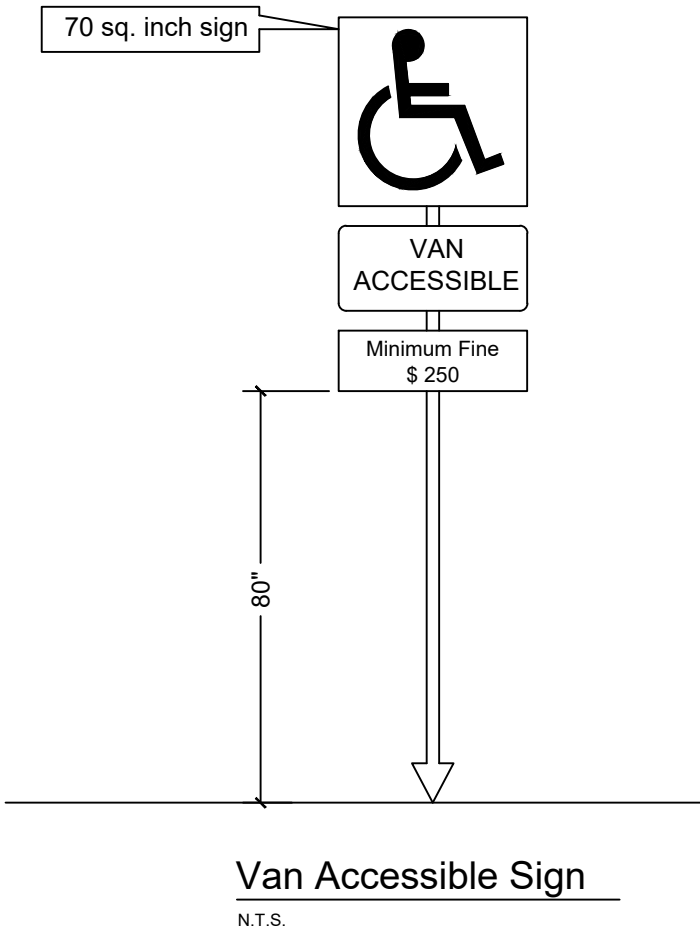
Exception: Van parking spaces shall be permitted to be 108 inches (2743 mm) wide minimum where the access aisle is 96 inches (2438 mm) wide minimum.



Note
The discharge of pollutants to any storm drainage system is prohibited. No solid waste, petroleum byproducts, soil particles, construction waste materials, or waste water generated on construction sites or by construction activities shall be placed, conveyed or discharged into the street, gutter or storm drain system.

Note
Plans for all fixed fire protection equipment such as standpipes, sprinkler systems and fire alarm systems, automatic fire suppression system for hood/dust cooking appliances must be submitted under a separate permit to the Fire Dept. having jurisdiction and approved by the Fire Dept. before this equipment is installed.

Parking Calculations
Total Seating: 50
Parking Spaces @ 1:3 = 16 Spaces Required
16 Spaces Supplied



Vicinity Map
33345 Yucaipa Blvd.
Yucaipa, Ca. 92399

Current codes:

- a) The 2022 edition of the California Building Code (CBC)
- b) The 2022 edition of the California Electrical Code (CEC)
- c) The 2022 edition of the California Mechanical Code (CMC)
- d) The 2022 edition of the California Plumbing Code (CPC)
- e) The 2022 edition of the California Fire Code (CFC)
- f) The 2022 edition of the California Energy Efficiency Standards.

Building Data	
Type Of Construction	V-B
Occupancy Group	A-2
Occupancy Load	110
No. Of Stories	1
Indoor Area	1,982 Sq. Ft.
Patio Area	925 Sq. Ft.
Total Area	2,907 Sq. Ft.
Total Lot Area	.4 Acres
Sprinkled	No
Hours Of Operation	11am-10pm
General Flow	Restaurant Purposed
Easements	None
WQMP	Yes
Land Use	Commercial
Neighboring Parcels	Commercial
All Signage	To Be Deffered
Property Description	Flat Land

Lot Coverage	
Permeable Area	4,182 Sq. Ft.
Non Permeable Area	13,454 Sq. Ft.

Sheet Index	
Site	Site Plan 1
A-1	Floor Plan 2
A-2	Demo/ Framing Plan 3
A-3	Framing Details 4
E-1	Electrical Plan 5
E-2	Lighting Plan 6
H-1	Hood Details 7
H-2	Hood Details 8
M-1	Mechanical Plan 9
P-1	Plumbing Plan 10
P-2	Plumbing Plan 11
ADA-1	Accessible Details 12

Scope Of Work

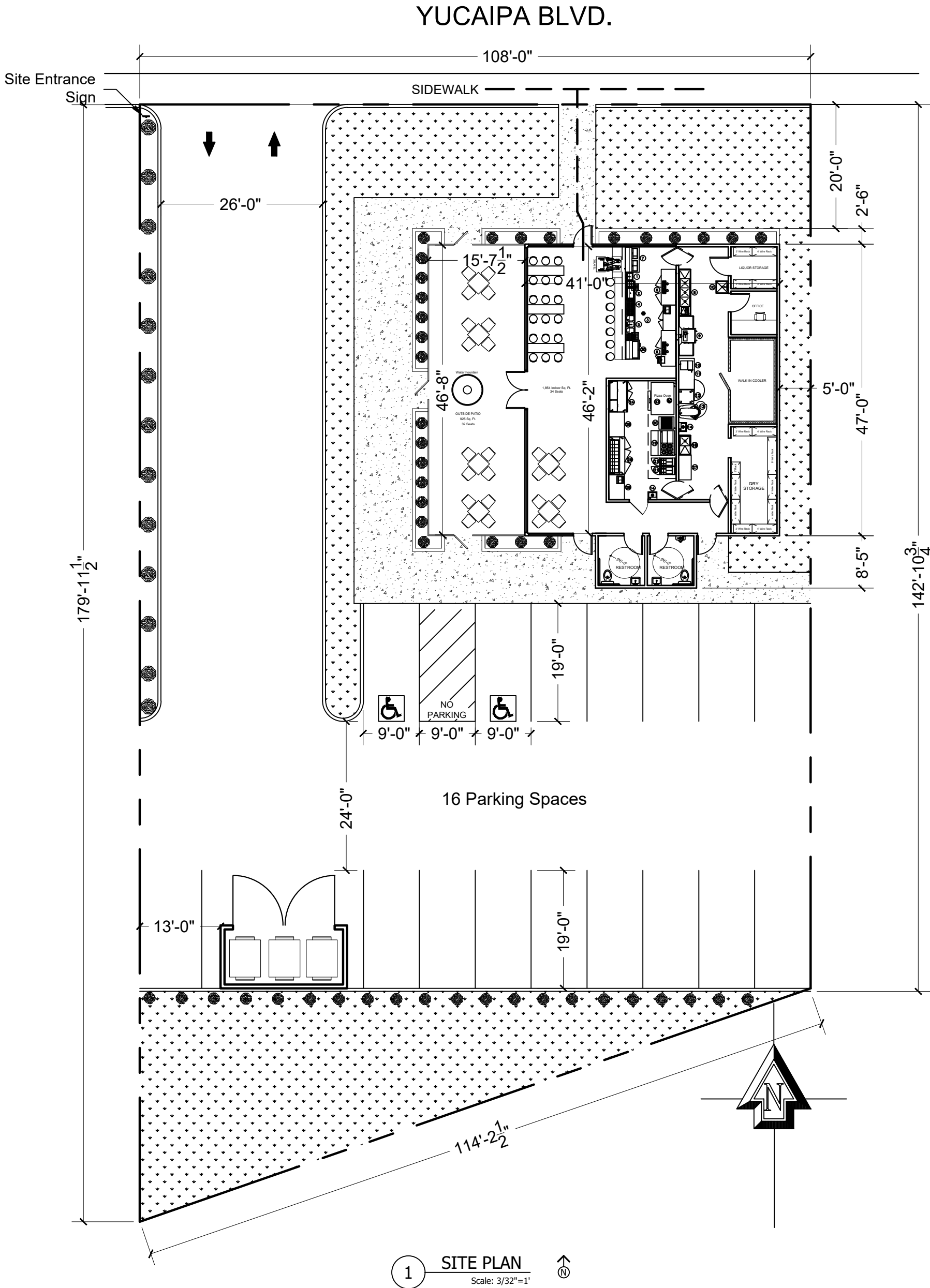
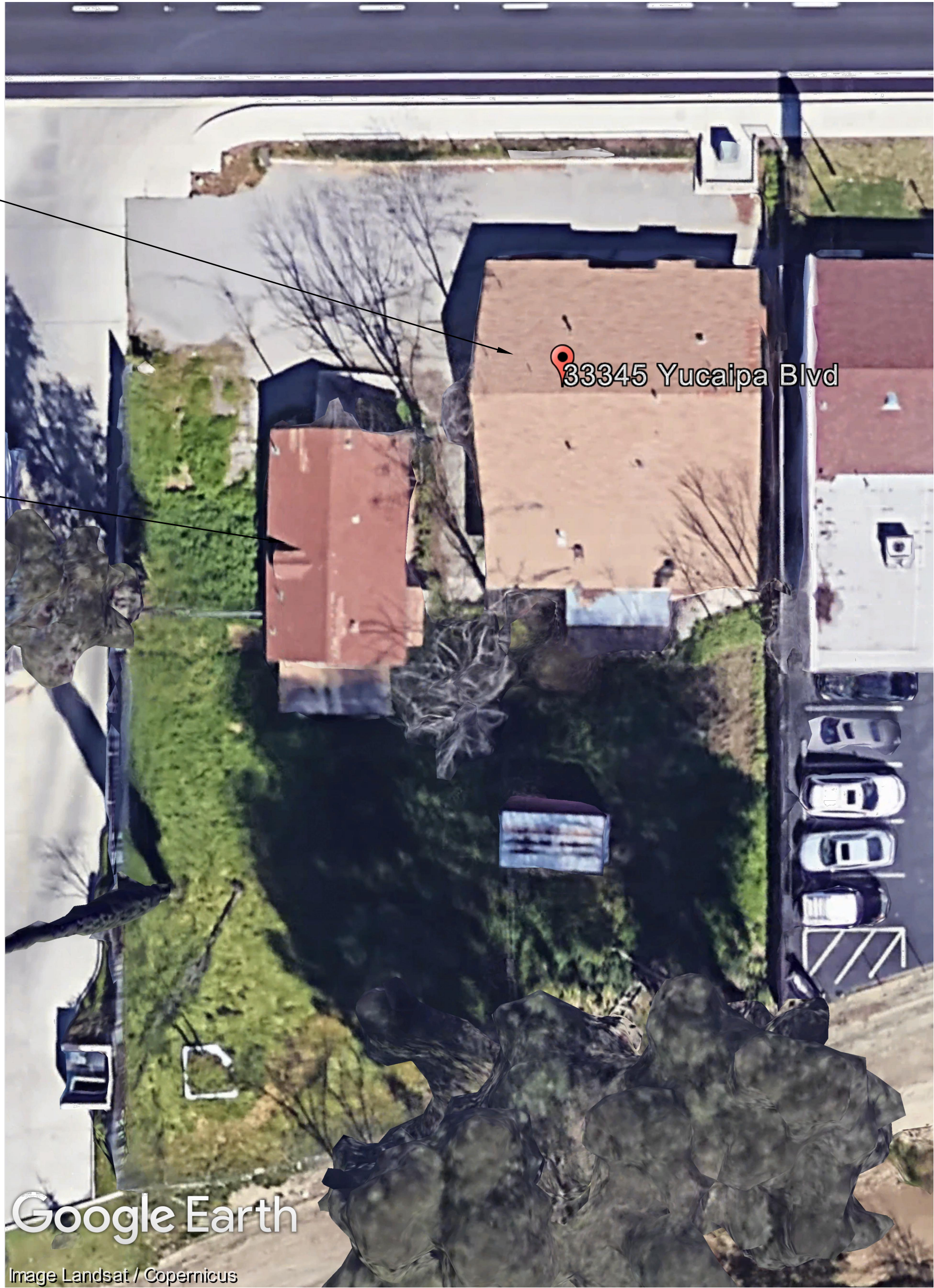
1. Demo existing buildings
2. Build new complete building for new restaurant
3. Add new parking lot
4. Add new landscaping and irrigation
5. Frame new walls, drywall and paint
6. Install new type 1 hood and walk-in cooler
7. Build new accessible restroom
8. Build new service counter
9. Install new sinks and cooking equipment
10. Install new T-bar ceiling
11. Install new lighting
12. Install new 750 gallon grease interceptor

ACCESSIBLE PATH OF TRAVEL

- a. Without any abrupt level changes exceeding 1/2".
- b. At least 48" in width.
- c. Cross slope does not exceed 2% and the slope in the direction of travel is less than 5%.
- d. Surface is stable, firm, and slip resistant.
- e. Free of overhanging obstructions to 80" minimum, and protruding objects greater than 4" projection from wall & above 27" & less than 80"
- f. Non compliant elements must be brought to compliance

Existing Building To Demo

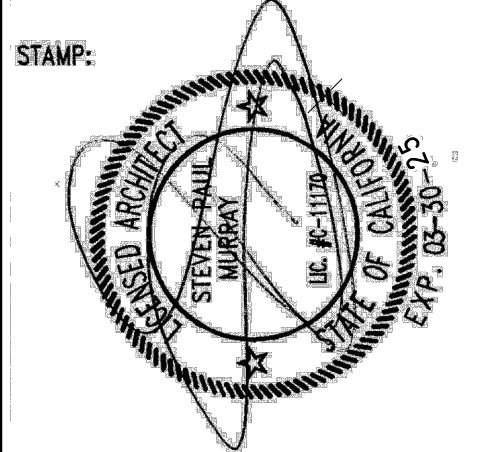
Existing Building To Demo



2 SITE PHOTO
Scale: N.T.S.



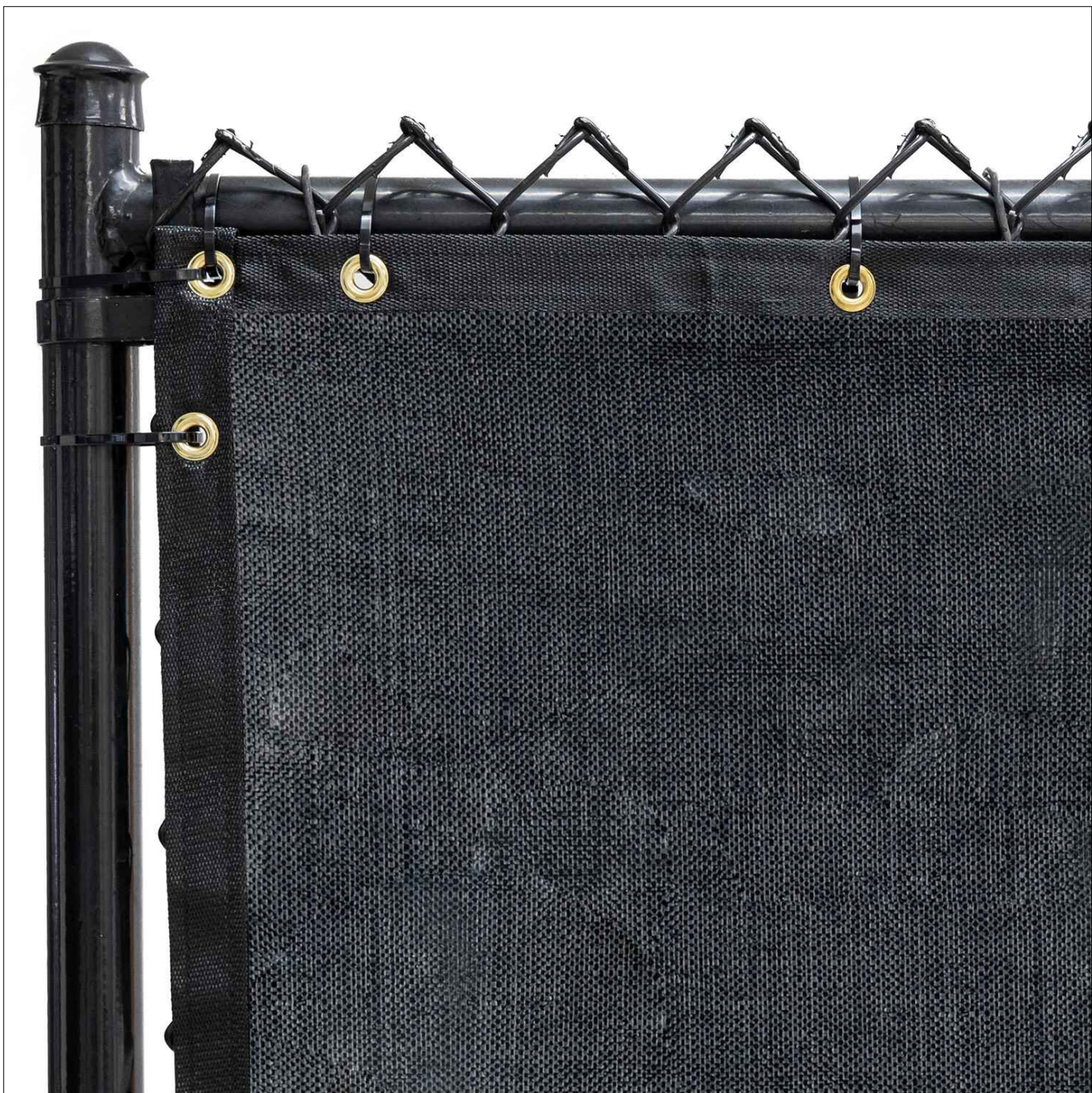
STEVEN PAUL MURRAY
ARCHITECT & ASSOCIATES
1177 Idaho Street, Suite 200
Redlands, CA 92374
Phone (951) 316-0575



PROJECT NAME:
Rosemary's Village
Maryam Gharabi
(832) 858-0575
33345 Yucaipa Blvd.
Yucaipa, Ca. 92399

REVISIONS	
CONSTR.	
BID	
PLAN CHECK	
DATE	6-10-24
DRAWN BY:	Mike Cutrona (909) 214-4162
JOB NO.	24-008
SHEET NAME	Site Plan

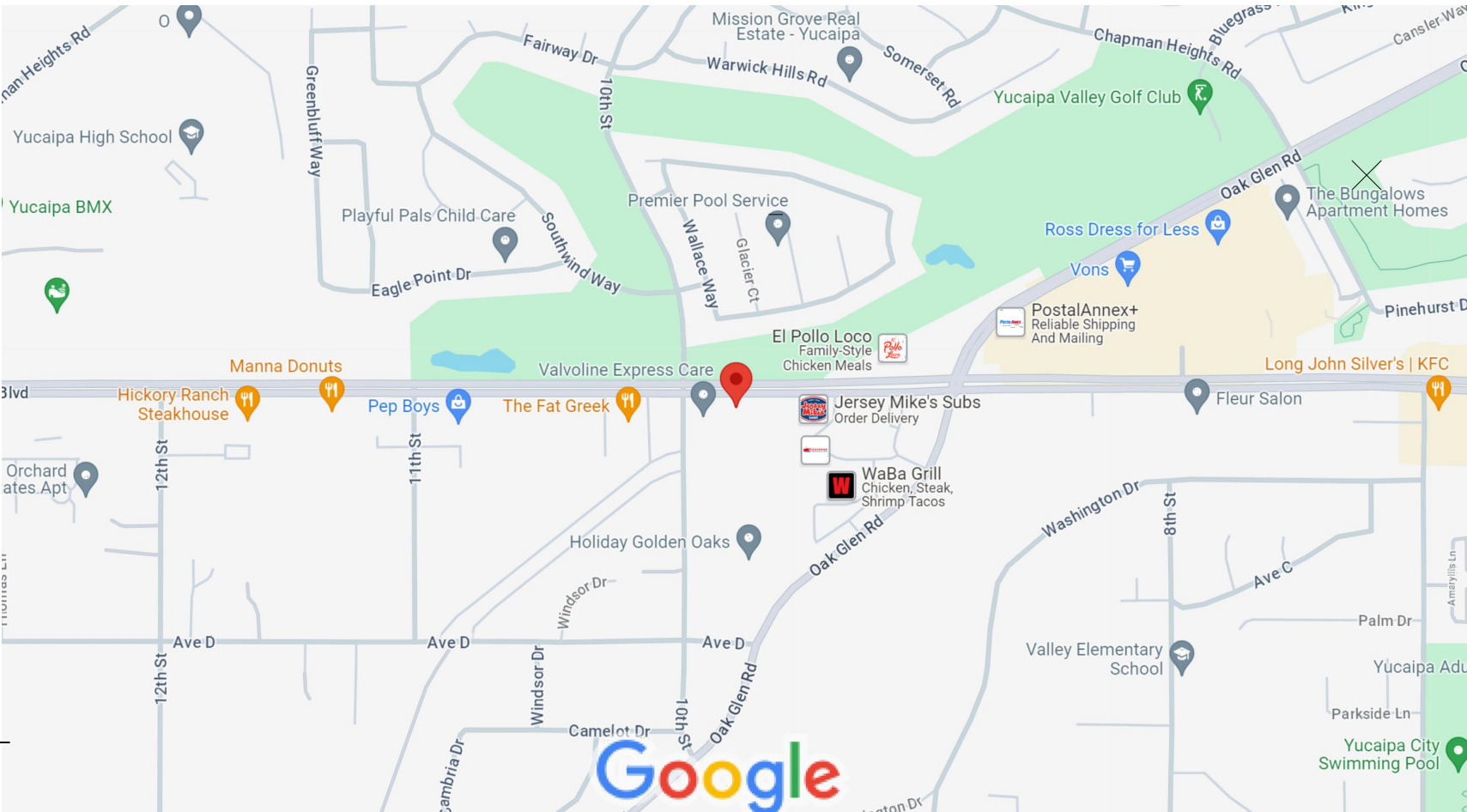
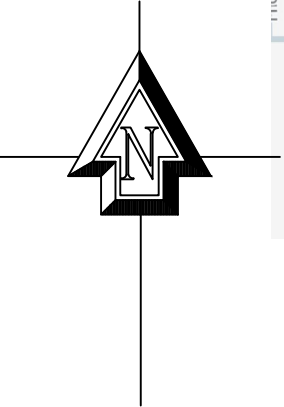
SHEET NO.	Site
SHEET	1 OF 12



Fence Screening
FenceBlock 100 Series – 98% Blockage

LINE LEGEND	
Property Line	— — — — —
Demo	- - - - -
Temporary Fence	—○—○—○—
Erosion Control Wattie	- - - - -

- Temporary Fencing**
Temporary construction fencing shall be in place during all phases of demolition and construction. Fencing to have screening with 98% visual blocking
- Dust Control**
Water supply on site for use to water down site as buildings being demolished or water truck on site during all demolition
- Erosion Control**
Use 8" watties around perimeter of site during all demolition



Vicinity Map
33345 Yucaipa Blvd.
Yucaipa, Ca. 92399

- Current codes:
- a) The 2022 edition of the California Building Code (CBC)

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c) The 2022 edition of the California Mechanical Code (CMC)

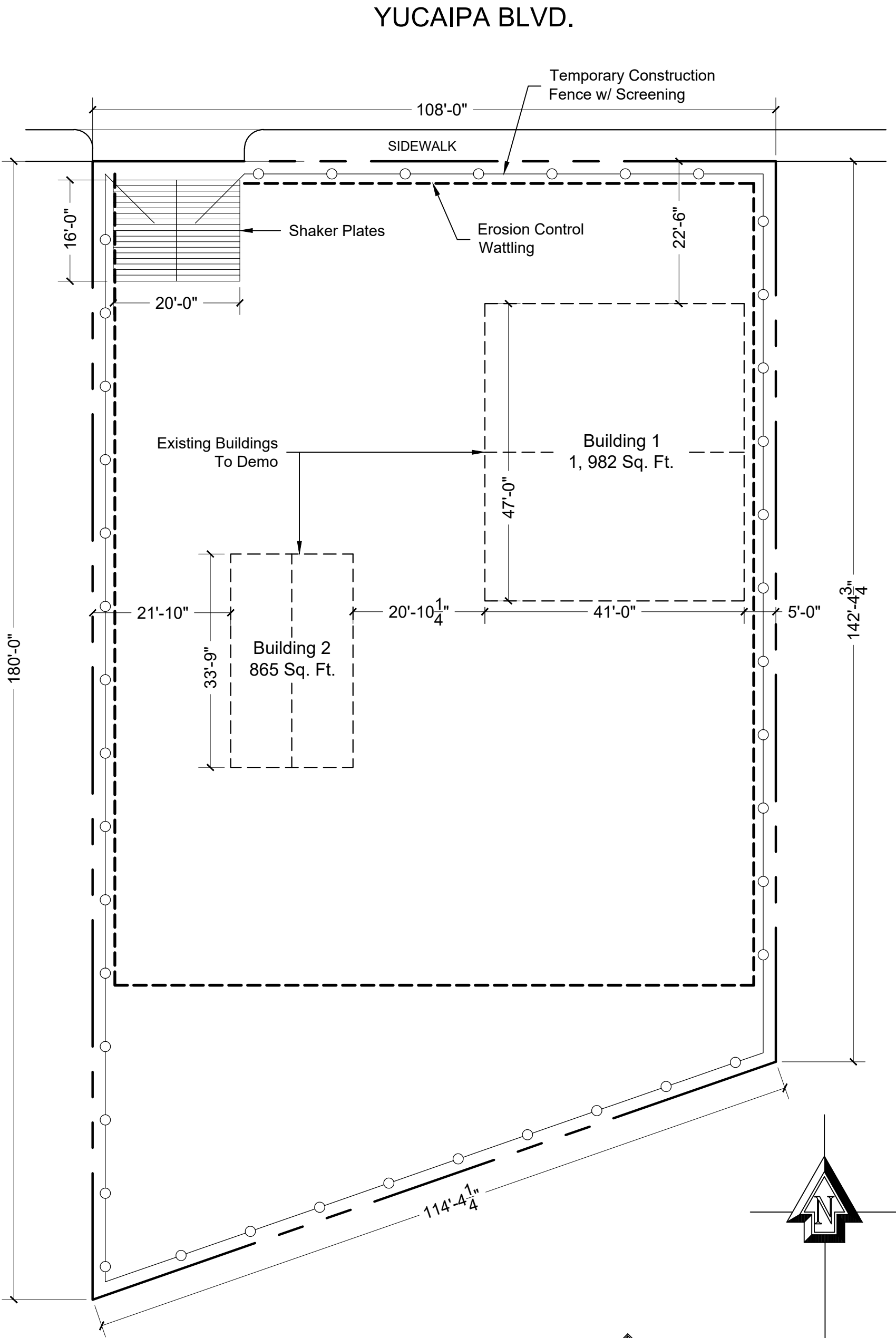
d) The 2022 edition of the California Plumbing Code (CPC)

e) The 2022 edition of the California Fire Code (CFC)

f) The 2022 edition of the California Energy Efficiency Standards.

Building Data	
Type Of Construction	V-B
Occupancy Group	B-2
No. Of Stories	1
Building #1 Area	1,982 Sq. Ft.
Building #2 Area	865 Sq. Ft.
Total Sq. Ft. Both Buildings	2,847 Sq. Ft.
Sprinkled	No

Sheet Index	
Site	Site/ Demo Plan
	1



1 SITE PLAN
Scale: 1/16"=1'

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1177 Idaho Street, Suite 200
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Phone (951) 316-0575

STAMP:

PROJECT NAME:

Rosemary's Village
Maryam Gharabi
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Yucaipa, Ca. 92399

REVISIONS	
CONSTR.	
BID	
PLAN CHECK	
DATE	12-19-24
DRAWN BY:	Mike Cutrona (909) 214-4162
JOB NO.	24-008
SHEET NAME	Site/ Demo Plan
SHEET NO.	Site
SHEET	1 OF 1

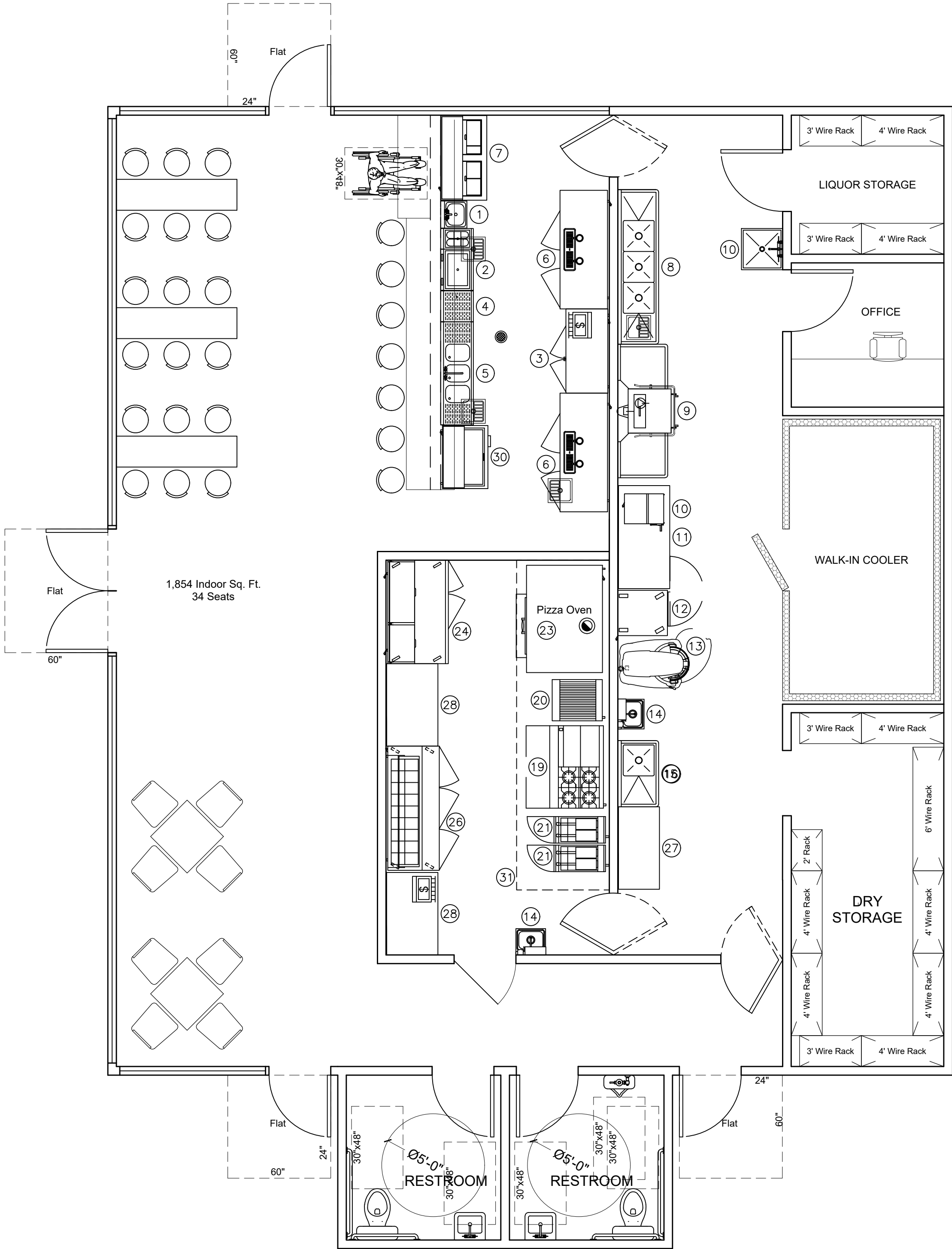
1. All walls and ceilings in food areas shall be smooth and washable, light in color 70% reflective.
2. Floors shall be Health Dept. approved non porous material with 6" high cove base w/ 3/8" radius cove or slim foot tile at vertical surfaces.
3. All equipment is to be sealed to walls and masonry base or on 6" high stainless steel legs or on casters to facilitate easy cleaning.
4. All storage shelves to be commercial quality and NSF approved. Must be 3 tier high 18" wide. Bottom shelf to be min. 6" off floor.
5. All plumbing lines to be installed min. 6" above floor and at least 1" away from walls. Not to cross isle ways.
6. Kitchen and work areas to be well lighted. 50 foot candles at 30" above floor. 10 foot candles other areas.
7. All light fixtures in food related areas to be equipped with shatter proof bulbs or protective shields.
8. All equipment shall be CSA, NSF, ANSI, ETL, ITS, ETH, UL, UL approved and installed to these standards.
9. All concrete sealers to be approved and listed.
10. All sinks to have 8' high FRP or tile and 18" minimum beyond either side.
11. All lay in ceiling tiles in work areas to be USG vinyl rock washable tiles.
12. Trash enclosure to be smooth and sealed walls and floor.
13. Air curtain to be hard-wired and micro-switch to door with no other on/off switch.
14. Provide a reduced pressure principle (RPP) devise at the water source of the soda carbonater. Provide funnel drain at the exhaust port to a floor sink.
15. All floor sinks to be unobstructed, easily accessible for cleaning purposes.
16. Contractor to have Health Dept. inspection 5 days prior to opening as business is not to be opened without final inspection.
17. All exterior door to be self closing, tight fitting and rodent proof.
18. All restroom doors to be self closing.
19. All restrooms to have light switch activated exhaust fan.

EQUIPMENT SCHEDULE													
Item No	Qty	Equipment Category	Manufacturer	Model Number	Volts	Amps	Cold Water Size (in)	Hot Water Size (in)	Direct Drain Size (in)	Indir Drain Size (in)	Gas Size (in)	MBTUH	Equipment Remarks
1	1	Sink, Hand, Wall Mount	Krowne	HS-2L			0.5	0.5		1.5			
2	1	Underbar Comb. Ice Bin	Krowne	KR19-M36L-10						1			
3	1	Back Bar Cooler	True Mfg.	TBB-24-48G-HC-LD									
4	1	Underbar Fillers & Drainboards	Krowne	KR19-GS18						1			
5	1	Underbar 3 Compartment Sink	Krowne	KR19-53C						1			
6	2	Dispenser, Beer	True Mfg.	TDD-3-HC	115	2.8							
7	1	Cooler, Bottle	True Mfg.	TD-50-18-HC	115	1.9							
8	1	Sink, NSF, 3 comp, 14 gauge	Advance Tabco	FS-3-1818-18RL						2			
9	1	Warewasher, Door Type, Low Temp	CMA Dishmachines	AH	115	16.0		0.75		2			
10	1	Hand Sink, Wall Mount	Advance Tabco	7-PS-87			0.5	0.5		1.5			
10	1	Dough Sheeter	Somerset	CDR-300	115	7.5							
11	1	Table, Work, w/ Back Splash	Advance Tabco	FLG-305									
12	1	Holding Cabinet, Proofer Heated	F.W.E.	ETC-1826-14PH	120	15.8							
13	1	Mixer, Pizza	Hobart US Foodservice	HL662									
14	2	Hand Sink, Wall Mount	Advance Tabco	7-PS-87			0.5	0.5		1.5			
15	1	Sink, NSF, 1 comp, 14 gauge	Advance Tabco	FS-1-1818-18L						2			
16	1	Table, Work, w/ Back Splash	Advance Tabco	FLG-245									
19	1	Range, Restaurant, Gas	Imperial Range	IR-4-G24							0.75	206	
20	1	Broiler, Under-Fired/Gas	Imperial Range	IRB 24							0.75	60	
21	2	Fryer, Deep Fat, Gas	Imperial Range	IFP-50							0.75	140	
23	1	Oven, Deck, Gas, Brick	Marsal	MB42	120	0.9					0.75	240	
24	1	Refrigerator, Pizza Prep	True Mfg.	TPP-AT-60-HC	115	3.9							
26	1	Refrigerator, Sandwich/Salad Prep	True Mfg.	TSSU-72-18-HC	115	7.2							
27	1	Table, Work, w/ Back Splash	Advance Tabco	FLG-244									
28	2	Table, Work, w/ Back Splash	Advance Tabco	FLG-304									
30	1	Cooler, Bottle	True Mfg.	TD-36-12-S-HC	115	4.6							

Occupancy Load Calcs		
Customer Area	$\frac{1554 \text{ Sq. Ft.}}{15}$	= 104
Work Area	$\frac{1087 \text{ Sq. Ft.}}{200}$	= 6
Total		= 110

	ROOM FINISH																FLOOR	BASE	WALLS	CEILING
	TC/TILE	COMMERCIAL GRADE CARPET	SEALD CONCRETE	VINYL SHEET 5' COVE	QUARRY TILES 6" x 6" COVE	CERAMIC TILE 6" x 6" COVE	MONOLIT 3/8" COVE	Ceramic Tile	METAL	7" VIRT COVE	6" CERAMIC w/ 3/8" R. COVE	6" SLIMFOOT TILE w/ 3/8" R. Cove	QUARRY w/ 3/8" R. Cove	6" SS 3/8" R. Cove	STAINLESS STEEL FULL HEIGHT	SS-GLASS EMBEL	40" R. P.	80" RPP	4" HIGH CERAMIC TILE	METAL
CUSTOMER	○	○	○	○	○	○	●	○	○	○	●	○	○	○	○	○	○	○	○	○
COOKING	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
PREP	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
SERVICE	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
DISHWASH	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
DRY STORAGE	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
JANITOR	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
RESTROOMS	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
WALK-IN COOLER	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
WALK-IN FREEZER	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○

Wall, Floor and ceiling shall not exceed the flame spread classifications in CBC Table 803.11



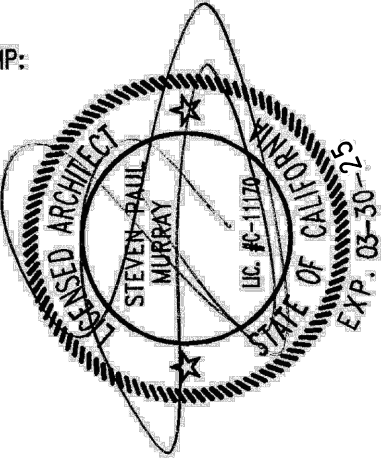
1 FLOOR PLAN
Scale: 1/4"=1'



ARCHITECT

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1177 Idaho Street, Suite 200
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Phone (951) 316-0575

STAMP:



PROJECT NAME:

Rosemary's Village
Maryam Gharabi
(832) 858-0575
33345 Yucaipa Blvd.
Yucaipa, Ca. 92399

REVISIONS

CONSTR.

BID

PLAN CHECK

DATE

6-10-24

DRAWN BY:

Mike Cutrona
(909) 214-4162

JOB NO.

24-008

SHEET NAME

Floor Plan

SHEET NO.

A-1

SHEET

2

OF

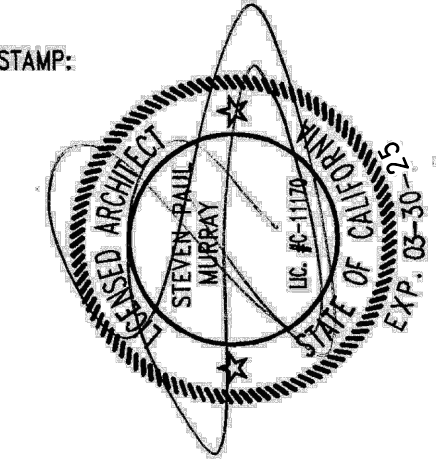
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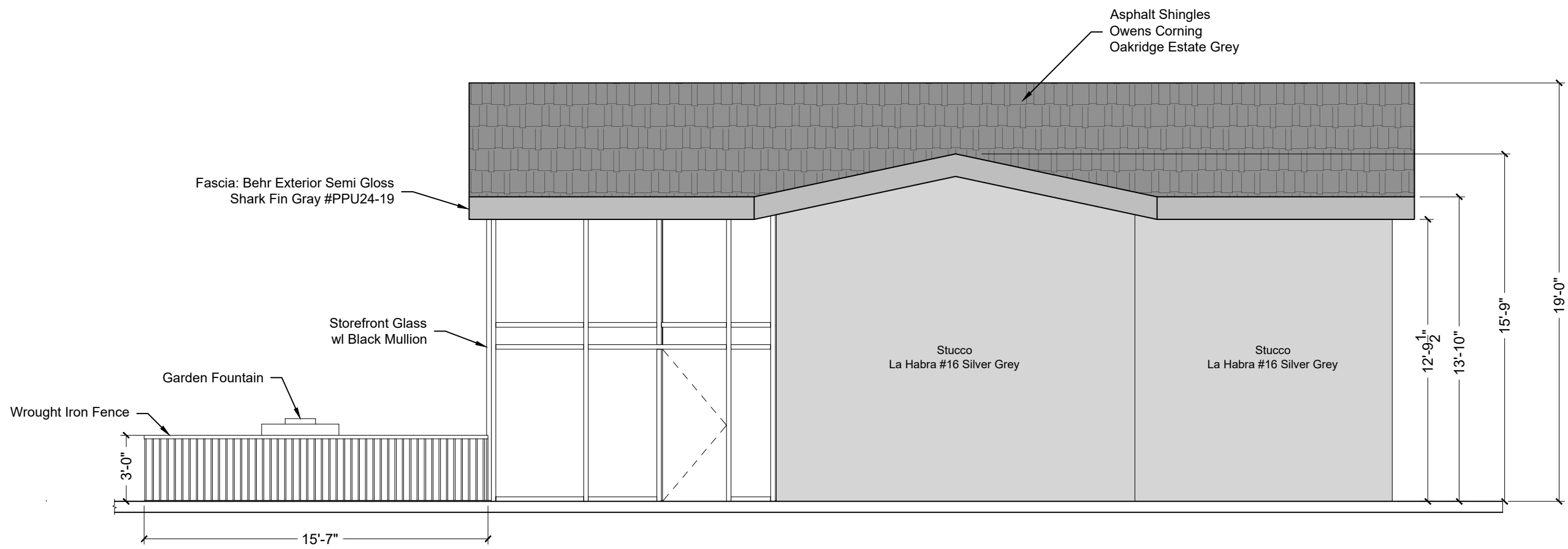
ARCHITECT

STEVEN PAUL MURRAY
ARCHITECT & ASSOCIATES

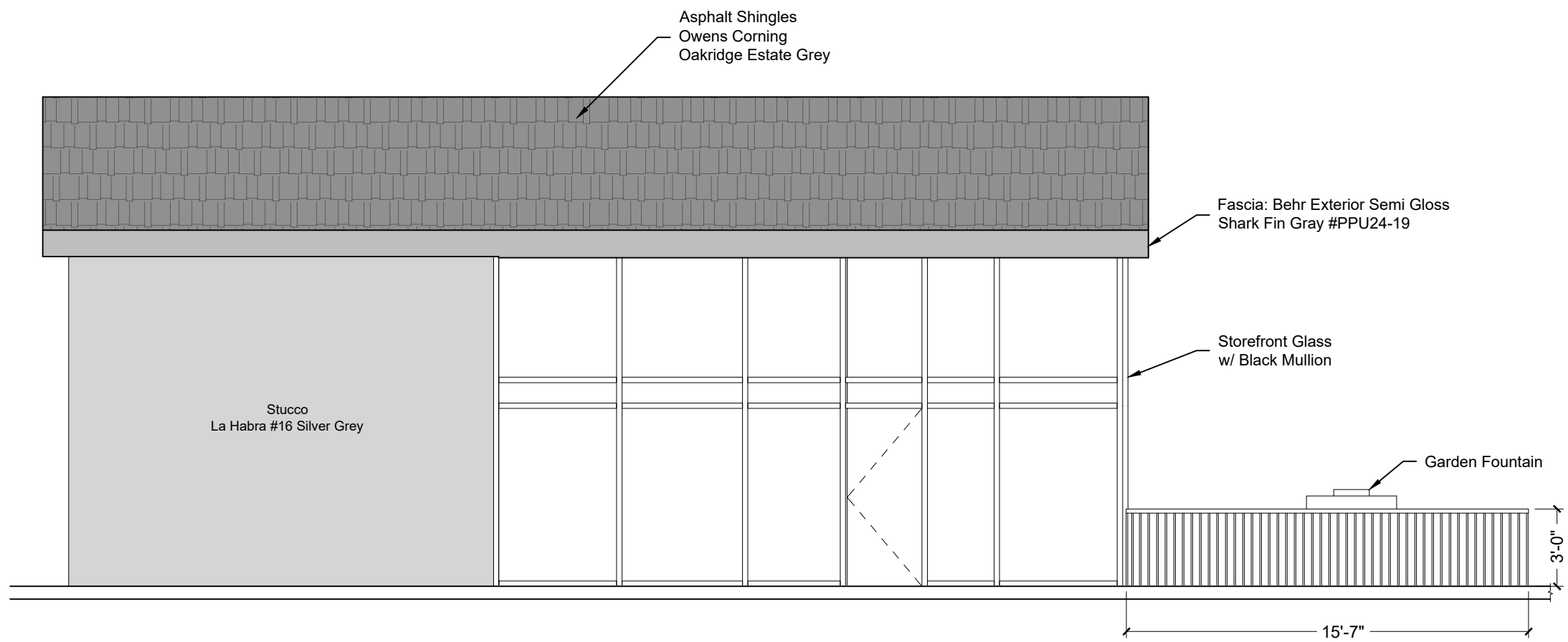
1177 Idaho Street, Suite 200
Redlands, CA 92374
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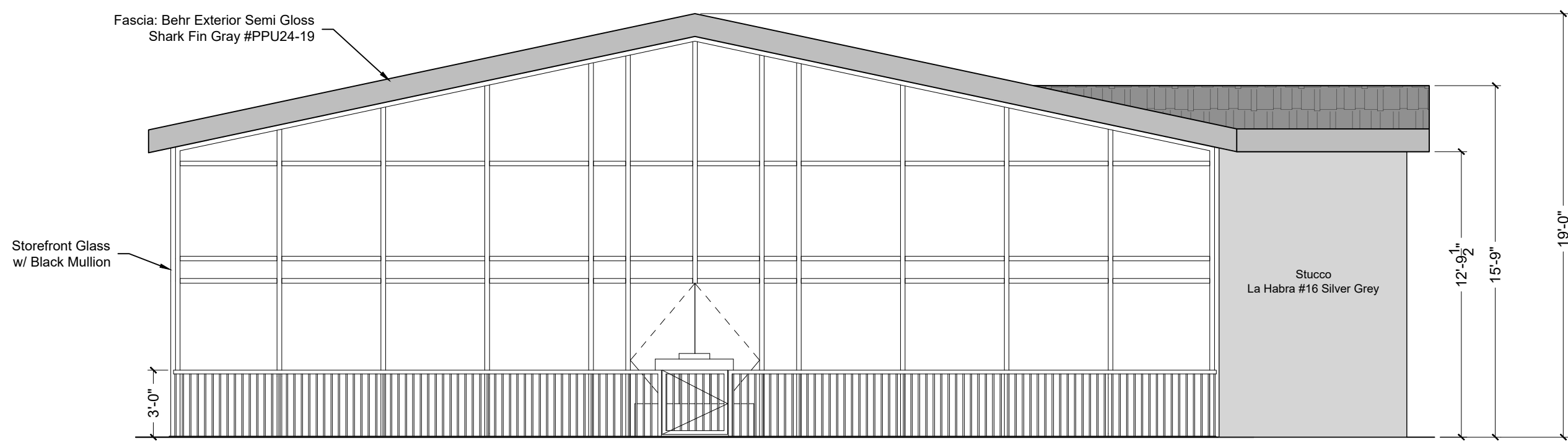
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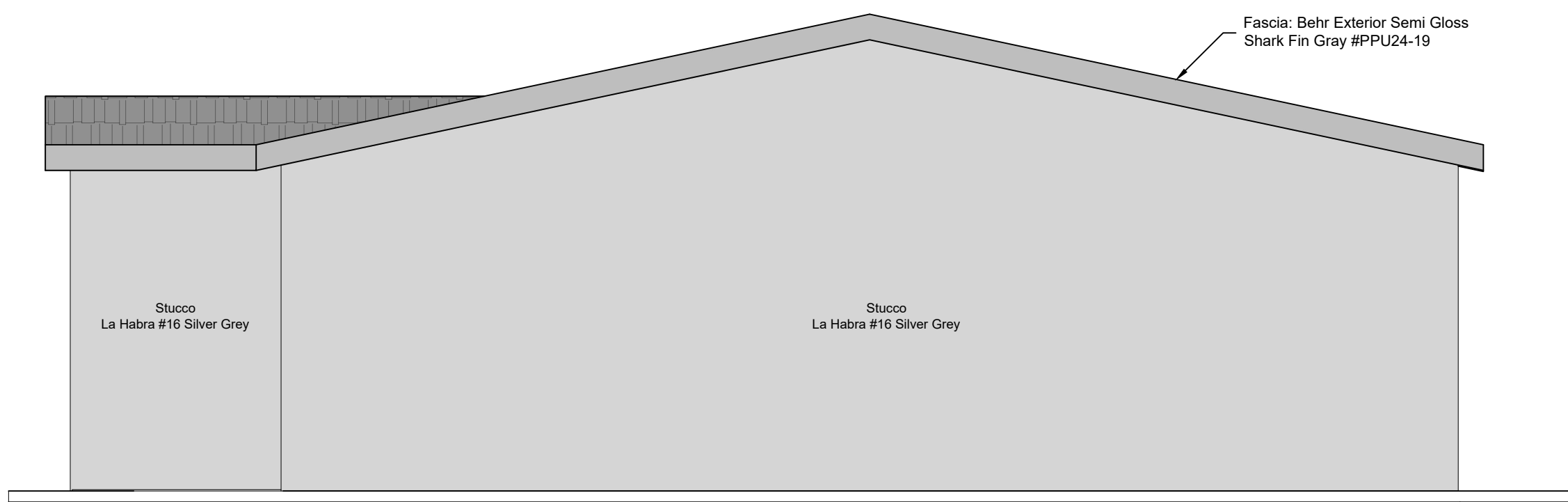
2 SOUTH ELEVATION
Scale: 3/16"=1'



1 NORTH ELEVATION
Scale: 3/16"=1'



4 WEST ELEVATION
Scale: 3/16"=1'



3 EAST ELEVATION
Scale: 3/16"=1'

PROJECT NAME:

Rosemary's Village
Maryam Gharabi
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Yucaipa, Ca. 92399

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BID

PLAN CHECK

DATE

6-10-24

DRAWN BY:

Mike Cutrona
(909) 214-4162

JOB NO.

24-008

SHEET NAME

Framing Details

SHEET NO.

A-4

SHEET

4

OF

12

YUCAIPA BLVD.

SIDWALK



Lagerstroemia indica 'Red'



Euonymus japonicus



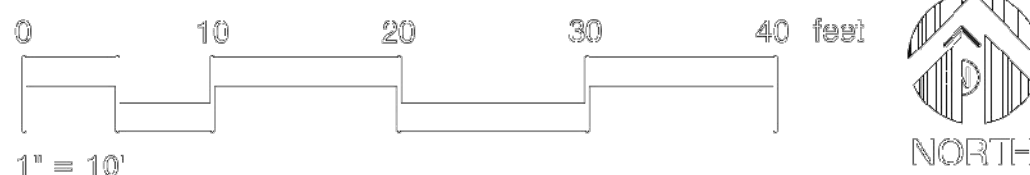
Callistemon viminalis 'Little John'



Hesperaloe parviflora



16 Parking Spaces



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
TREES					
	FRA RA3	Fraxinus angustifolia oxycarpa 'Raywood' Raywood Ash	24"	Box	2
	LAG RE2	Lagerstroemia indica 'Red' Red Crape Myrtle	24"	Box	2
SHRUBS					
	CAL LIN	Callistemon viminalis 'Little John' Little John Weeping Bottlebrush	5 gal.	Pot	35
	EJO JAP	Euonymus japonicus Japanese Euonymus	1 gal.	Pot	23
	HES PAR	Hesperaloe parviflora Red Yucca	1 gal.	Pot	91
	LEU COM	Leucophyllum frutescens 'Compacta' Compact Texas Sage	5 gal.	Pot	35

IRRIGATION ORDINANCE AGREEMENT STATEMENT

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE CURRENT WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

IRRIGATION ORDINANCE COMPLIANCE STATEMENT

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

DATE : 08-28-2024

PROJECT MAINTENANCE:

PROPER PROJECT MAINTENANCE IS REQUIRED AFTER THE PROJECT IS COMPLETE. A LACK OF PROPER MAINTENANCE IN AREAS MAY RESULT IN DAMAGE TO PROPERTY OR PERSONS. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR THE RESULTS OF ANY LACK OF IMPROPER MAINTENANCE.

SITE IS PRIVATELY MAINTAINED.

DESIGN NOTES:

THIS PROJECT SHALL BE DESIGNED ACCORDING TO THE 2019 CBC, CRC, CPC, CEC, ETC...

A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

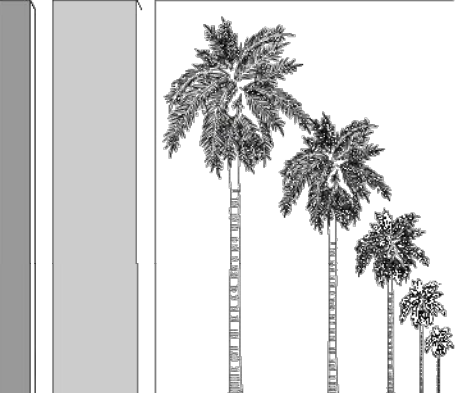
FOR SOILS LESS THAN 8% ORGANIC MATTER IN THE TOP 8 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF A SIX INCHES INTO THE SOIL.

PRIOR TO CONSTRUCTION OF LANDSCAPED AREAS OR IRRIGATION, THE CONTRACTOR MUST OBTAIN AND REVIEW A COPY OF THE WATER-EFFICIENT LANDSCAPE AND IRRIGATION STANDARDS.

ALL LANDSCAPING AND IRRIGATION SYSTEMS MUST COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS.

HOLD HARMLESS & INDEMNIFICATION CLAUSE

THE CONTRACTOR AGREES TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER/DEVELOPER, THE CSA, COUNTY OF LOCAL JURISDICTION, AND THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER/DEVELOPER, THE CSA, COUNTY OF LOCAL JURISDICTION, OR THE LANDSCAPE ARCHITECT.



PROJECT ADDRESS:
33345 Yucaipa Blvd.
Yucaipa, CA 92399

APPLICANT:

LANDSCAPE ARCHITECTURE
PLANS FOR:
33345 Yucaipa
BLVD.

SEAL - DESIGN

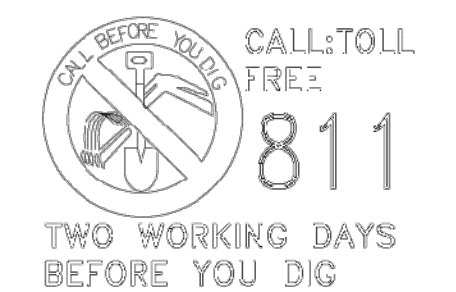


THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS THE PROPERTY OF THE LANDSCAPE ARCHITECT AND MAY NOT BE REPRODUCED WITHOUT THE LANDSCAPE ARCHITECT'S PERMISSION AND WITHOUT THE REPRODUCTION CARRIER'S PERMISSION. THE LANDSCAPE ARCHITECT'S NAME, ALL DESIGN AND OTHER INFORMATION SHOWN ON THE DRAWING ARE FOR USE ON THE SPECIFIED PROJECT ONLY AND SHALL NOT BE USED OTHERWISE WITHOUT WRITTEN PERMISSION FROM THE LANDSCAPE ARCHITECT.

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE LANDSCAPE ARCHITECT IS TO BE INFORMED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS. EXISTING CONDITIONS AND LOCATIONS OF UTILITIES HAVE NOT BEEN VERIFIED INDEPENDENTLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR BEFORE BEGINNING WORK TO DETERMINE THE EXACT LOCATION OF ALL EXISTING AND SHOWN UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL PERMITS AND ENGINEERING REQUIRED NOT INCLUDED IN THESE DRAWINGS. CIVIL, STRUCTURAL AND MECHANICAL ENGINEERING BY OTHERS, UNLESS AND OTHERWISE BY OTHERS.

SHOP DRAWINGS MUST BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW BEFORE PROCEEDING WITH FABRICATION.

UNDERGROUND
SERVICE ALERT



NO. REVISIONS DATE

PLAN SET

1st Submittal

SHEET TITLE

CONCEPTUAL
LANDSCAPE
PLAN

JOB NO.

26.06

DATE:

3-12-2025

DRAWN:

JM

SCALE:

PER PLAN

SHEET NUMBER

CLP-1

OF 1

